



ZBOA MEMBERS Milton Woods – Chairman Jessica Dailey Marlon Sheffield
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MEETING AGENDA

Town of Ridgeland

BOARD OF ZONING APPEALS

Wednesday, February 26, 2025, 4:00 P.M.

Town Hall, Council Chambers, 1 Town Hall, Ridgeland, SC 29936

STATEMENT OF MEDIA NOTIFICATION: “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

I. Call to Order: Pledge of Allegiance by Chairman Milton Woods

II. Approval of the Minutes: No minutes from last meeting

III. Case(s): each case(s) includes a public hearing:

Case 1:

The Applicant, DR Horton, is requesting the following variances to section 5.13 of the Town of Ridgeland Smart Code for property located at 063-39-04-010, a.k.a., The Groves at Bees Creek along Bees Creek Road:

- a. Section 5.13.2A to allow the use of beaded vinyl siding
- b. Section 5.13.3B to allow vertical siding in addition to horizontal
- c. Section 5.13.3E to allow the use of vinyl trim
- d. Section 5.13.3H to allow more than one wall color
- e. Section 5.13.5G to allow for exterior post dimensions to be reduced from 6” X 6” to 4” X 4”
- f. Section 5.13.7F to clarify whether downspouts or gutters are required
- g. Section 5.13.8B to allow fiberglass doors
- h. Section 5.13.8D/ Section 5.13.9H to allow the use of non-operable shutters
- i. Section 5.13.9A to allow the use of twin windows removing the 4” min. post separation
- j. Section 5.13.9B to allow grate between window glass
- k. Section 5.13.9D to allow the use of gray vinyl storm windows and screens
- l. Section 5.13.9G to extend the maximum allowable garage door width from 10’ to 16’

IV. Board Member Comments

V. Public Comment Time (Limited to 3 Minutes)

VI. Adjournment

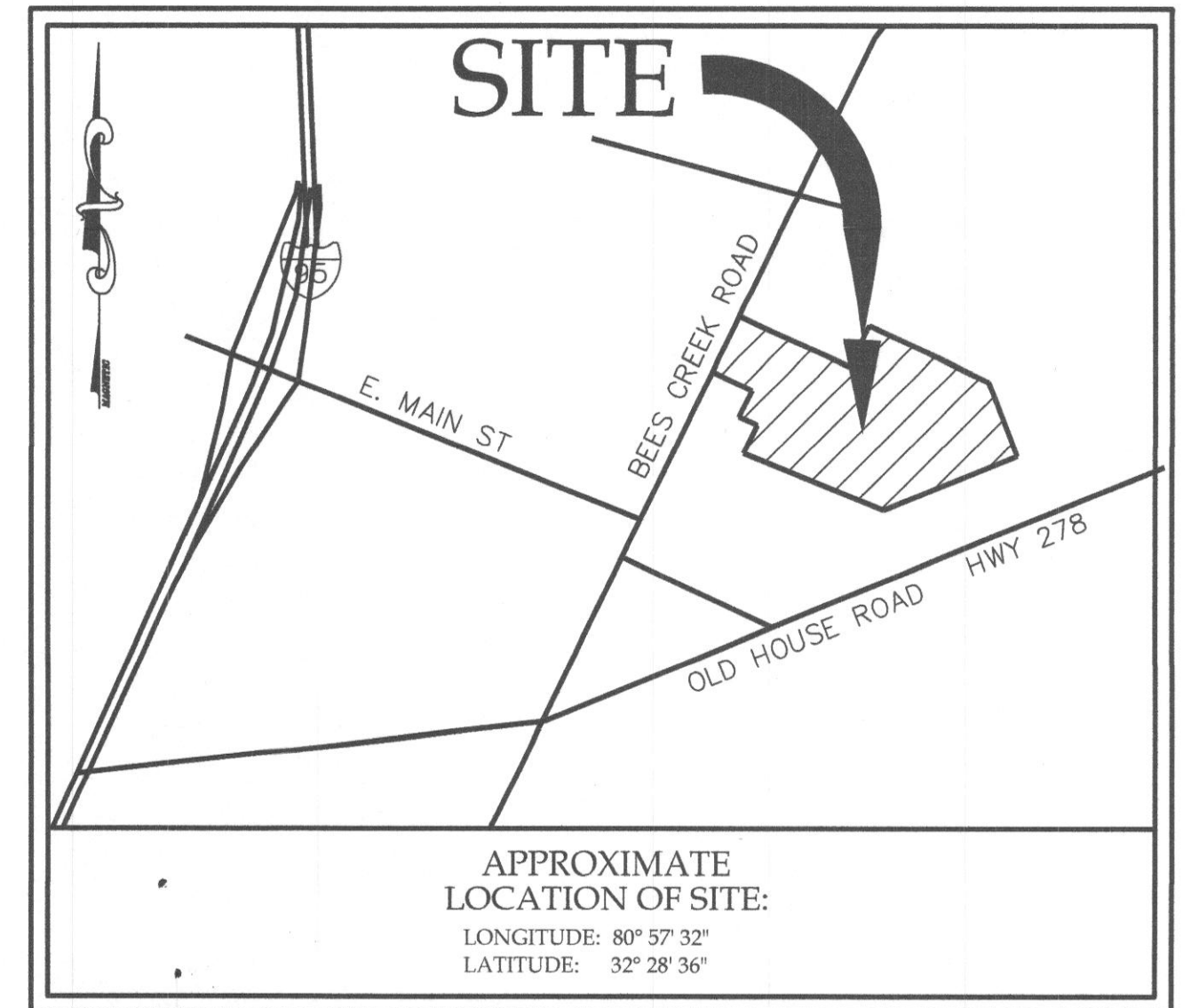








SITE DEVELOPMENT PLANS THE GROVE AT BEES CREEK TOWN OF RIDGELAND, SC



VICINITY MAP
NTS



I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. I FURTHER CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 46, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976, AS AMENDED; PURSUANT TO REGULATION 72-500 ET SEQ. (IF APPLICABLE); AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF 2010000.

SITE DEVELOPMENT TABLE	
TOTAL ACREAGE:	40.21 ACRE
ZONING:	T3
LAND USE:	SINGLE FAMILY RESIDENTIAL
TOTAL NO. OF LOTS:	96
FRESH WATER WETLANDS:	5.2 AC
DETENTION POND:	4.2
OPEN SPACE:	13.7 (INCLUDING FRESH WATER WETLANDS & DETENTION POND)

GENERAL NOTES

CONTRACTOR TO IDENTIFY & LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING CONSTRUCTION.

CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL & SAFETY DURING CONSTRUCTION.

CONTRACTOR RESPONSIBLE FOR SECURING SITE DURING NON-WORKING HOURS TO ENSURE TRAFFIC & PEDESTRIAN SAFETY.

REFERENCE DATUM: NAVD 88

SITE DEVELOPMENT PLANS
THE GROVE AT BEES CREEK

DEVELOPER:
HVP3 DEVELOPMENT, LLC
941 SPEARS CREEK COURT
ELGIN, SC 29045
803-730-8155
TAX MAP #063-39-04-010

02/18/22
10/06/22
PROJECT: 2455

PROPERTY OWNER:

NAME: AMBER II, LLC
ADDRESS: 1145 DALTONS DRIVE
FORREST, VA 24551
PHONE: 434-841-0074
EMAIL: buffair@outlook.com

SCHEDULE OF DRAWINGS	
SHEET NO.	DESCRIPTION
1 of 37	TITLE SHEET
2 of 37	INDEX SHEET
3 of 37	SEDIMENT & EROSION CONTROL PLAN
4 of 37	SEDIMENT & EROSION CONTROL PLAN
5 of 37	SEDIMENT & EROSION CONTROL PLAN
6 of 37	SEDIMENT & EROSION CONTROL DETAILS
7 of 37	TREE PROTECTION & REMOVAL PLAN
8 of 37	TREE PROTECTION & REMOVAL PLAN
9 of 37	TREE PROTECTION & REMOVAL PLAN
10 of 37	TREE PROTECTION & REMOVAL PLAN
11 of 37	PAVING & GRADING PLAN
12 of 37	PAVING & GRADING PLAN
13 of 37	PAVING & GRADING PLAN
14 of 37	PAVING & GRADING PLAN
15 of 37	DRAINAGE PLAN
16 of 37	DRAINAGE PLAN
17 of 37	DRAINAGE PLAN
18 of 37	DRAINAGE PLAN
19 of 37	ROAD PROFILES
20 of 37	ROAD PROFILES
21 of 37	ROAD PROFILES
22 of 37	PAVING, GRADING & DRAINAGE DETAILS
23 of 37	WATER & SANITARY SEWER PLAN
24 of 37	WATER & SANITARY SEWER PLAN
25 of 37	WATER & SANITARY SEWER PLAN
26 of 37	WATER & SANITARY SEWER PLAN
27 of 37	SEWER PROFILES
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30 of 37	WATER DETAILS
31 of 37	SANITARY SEWER DETAILS
32 of 37	PUMP STATION DETAILS
33 of 37	PUMP STATION DETAILS
34 of 37	PUMP STATION DETAILS
35 of 37	PUMP STATION DETAILS
36 of 37	PUMP STATION DETAILS
37 of 37	PUMP STATION DETAILS
1 of 1	ENCROACHMENT PLAN
1 of 1	LIMITS OF DISTURBANCE

PREPARED BY:

CAROLINA ENGINEERING CONSULTANTS, INC.

PO BOX 294
BEAUFORT, SC 29901

WWW.CAROLINAENGINEERING.COM

(843)322-0553
(843)322-0556 (FAX)

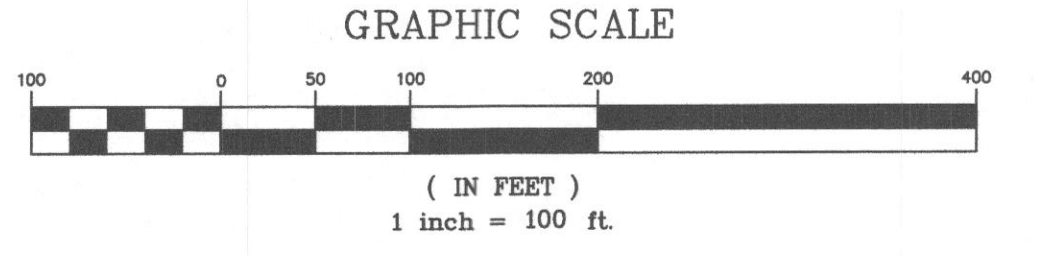
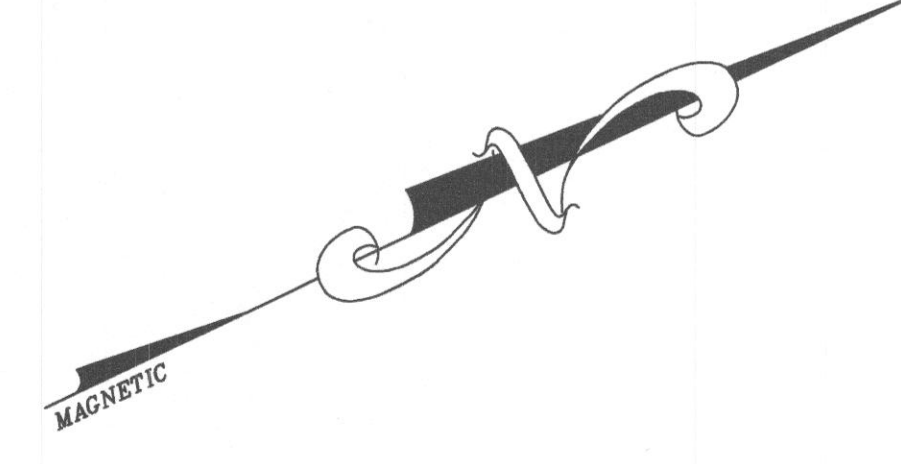
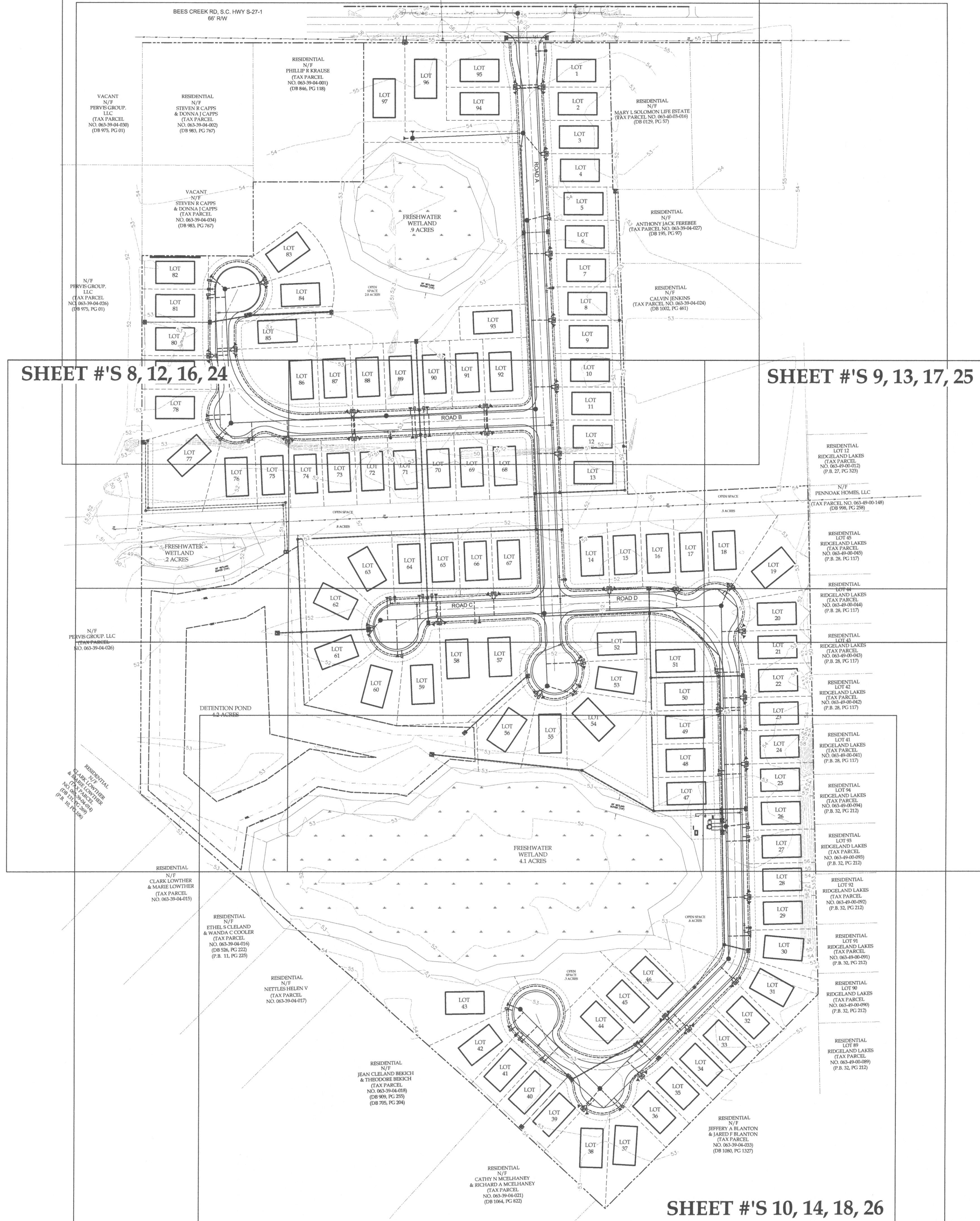
3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 1-888-721-7877
PALMETTO UTILITY PROTECTION SERVICE

SHEET #'S 7, 11, 15, 23

SHEET #'S 8, 12, 16, 24

SHEET #'S 9, 13, 17, 25

SHEET #'S 10, 14, 18, 26



Professional Engineer Seal for David R. Wynn, License No. 19826, State of North Carolina. The seal includes the text: 'ANY INFRINGEMENT MAY BE SUBJECT TO LEGAL ACTION. THESE DRAWINGS ARE THE PROPERTY OF SAID ENGINEER. THE REPRODUCTION, COPY, OR USE OF THESE PLANS OR THE INFORMATION IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.'

PLAN REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	

THE GROVE AT BEES CREEK
TOWN OF RIDGELAND
JASPER COUNTY, SC

CAROLINA ENGINEERING CONSULTANTS, INC.
 843/322-0553
 843/322-0556 (FAX)
 WWW.CAROLINAENGINEERING.COM
 PO BOX 294
 BEAUFORT, SC 29901

PROJECT: 2455
 DATE: 02/18/22
 REVISED BY: 10/06/22
 DRAWN BY: BJS
 ENGINEER: DRK
 SCALE: 1"=100'

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2
 OF 37

Town of Ridgeland Architectural Review Application

Supplemental Documentation

The applicant would like to introduce the following changes to below regulation for The Grove at Bees Creek Subdivision

5.13.2.A

Walls shall be finished in wood clapboard (sealed with paint or stain), board and batten, cedar shingles, “hardie plank,” stucco, or brick. Walls may be finished in brick as approved by the CRC. Walls for single family residential units may be finished in vinyl siding on a case by case basis as approved by the CRC. **We are requesting vinyl siding be approved. Vinyl siding is easier to maintain for the homeowner, is less likely to fade with time and is rot resistant.**

5.13.3.B

Siding shall be horizontal, maximum 6” to the weather. **This conflicts with the above “board and batten” allowance and would like clarification.**

5.13.3.E

Trim shall be a minimum grade “B” trim lumber; and shall be 3.5” to 6” in width at corners and around opening, except at the front door, which may be any size (3.5” minimum) or configuration. **We are requesting vinyl trim to match the vinyl siding. Vinyl trim is easier and less expensive to maintain, is resistant to rotting, and will look nicer in the long run.**

5.13.3.H

Walls shall be one color. **We are requesting that walls may be up to two colors, to match the allowance of two materials in 5.13.3.A. Only one color per material and change with an architectural feature.**

5.13.5.F

Columns (the classical orders), if provided, shall be of the Tuscan or Doric orders with correct proportions or profiles according the American Vignola. **We are proposing the removal of this section as it conflicts with 5.13.5.G variance.**

Staff has commented that our porches use “posts” and not “columns” and are therefore exempt

5.13.5.G

Posts shall be no less than 6" x 6", except at outbuildings. Railings shall have horizontal top and bottom rails. Wood top rails shall be eased and bottom rails shall have a vertical section. Top and bottom rails shall be centered on the pickets. The opening between spindles and balusters shall not exceed 4". **We are requesting the allowance of 4" x 4" nominal posts. These posts are standard in new construction and are less expensive for the homeowner to maintain.**

5.13.6.B

Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper-coated), anodized or ESP aluminum. **We are seeking clarification on the "when used" and if they are mandatory.**

Staff has commented that gutters are not mandatory

5.13.8.B

Doors (including garage doors) shall be wood or metal. Doors shall be painted or stained. **We are requesting the allowance of Fiberglass doors. Fiberglass doors are resistant to rot, denting, and will not fade with time.**

5.13.8.D

Shutters shall be wood, PVC, painted, operable and meet the width of the window when closed. **We are requesting the allowance of non-operable shutters. Operable shutters are more likely to fail and become a maintenance cost with time. Failing shutters and shutters that have fallen due to failing are less appealing for the neighborhood.**

5.13.9.A

Windows rectangular single-, double-, or triple-hung, awning, fixed (under 2 sf), or operable casement types, with a square to vertical proportion. Transoms may be oriented horizontally with panes of vertical proportions. Multiple windows in the same rough opening shall be separated by a 4" minimum post. In masonry walls the centerline of the window sash shall align with the centerline of the wall. **We are requesting the allowance of twin windows; ie the removal of the 4" minimum post separating windows. Twin windows are a standard in today's construction and allow for more light to enter the home.**

5.13.9.B

Windows muntins shall be true divided light or simulated divided light windows or fixed on the interior and exterior surface and create panels of square or vertical proportion. **We are requesting the allowance of grate between glass windows (GBG). Grate between glass offers simulated divided light while protecting the dividing feature from wear and maintenance.**

5.13.9.D

Storm windows and screens shall be integral with the window. Screens shall be made of brass, bronze, or black vinyl. **We are requesting the use of grey vinyl. Grey vinyl is a standard in modern construction and less likely to fade with time.**

5.13.9.G

Garage doors facing a street frontage shall be a maximum of 10' in width. Garage doors facing an alley shall have a light fixture with an incandescent bulb activated by a photocell. Garage doors shall be painted or stained. Storefronts shall be painted a dark gloss color. **We are requesting the allowance of 16' wide, standard 2 car garage doors. This is a standard in modern construction and follows with the previously approved layout.**

5.13.9.H

Shutters shall be operable, sized and shaped to match the openings. **We are requesting the allowance of non-operable shutters. Operable shutters are more likely to fail and become a maintenance cost with time. Failing shutters and shutters that have fallen due to failing are less appealing for the neighborhood.**



Town of Ridgeland

Planning and Community Development

One Town Square · Post Office Box 1119 · Ridgeland, SC 29936

Phone: (843)726-7521 Fax: (843)726-7525

Notice of Appeal – Form 1 Board of Zoning Appeals

Date Filed: January 7, 2025 Permit Application No.: _____ Appeal No.: _____

Instructions

This form must be completed for a hearing on **appeal** from action of an Administrative decision (AD), application for a **variance**, or application for **special exception**. Entries must be printed or typewritten. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the Designation of Agent.

An accurate, legible plot plan showing property dimensions and locations of structures and improvements must be attached to an application for variance or special exception.

THE APPLICANT HEREBY APPEALS [indicate one]:

- from action of a Administrative decision as stated on attached Form 2.
- for a variance as stated on attached Form 3.
- for a special exception as stated on attached Form 4.

APPLICANT(S) [print] D. R. Horton, Inc.

Address: 30 Silver Lake Road, Bluffton, SC 29909

Telephone: (843) 227-4807 [work] _____ [home]

Interest: Owner(s) Adjacent Owner(s); Other: _____

OWNER(S) [if other than Applicant(s)]: _____

Address: _____

Telephone: _____ [work] _____ [home]

[Use reverse side if more space is needed.]

PROPERTY ADDRESS:

Lot _____ Block _____ Subdivision The Groves at Bees Creek

Tax Map No.: 063-39-04-010 Plat Book 38 Page 472

Lot Dimensions: 60' x 120' Area: 40.208 AC

Zoning District: T-3 Zoning Map Page: _____

DESIGNATION OF AGENT [complete only if owner is not applicant]: I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.

Date: _____

Owner Signature(s)

I (we) certify that the information in this application and the attached From 2, 3, or 4 is correct.

Date: _____

Applicant Signature(s)



TOWN OF RIDGELAND ARCHITECTURAL REVIEW APPLICATION

Planning and Community Development
P.O. Box 1119, or 1 Town Square
Ridgeland, South Carolina 29936
Phone: 843-726-7500 FAX: 843-726-7525
www.ridgelandsc.gov

ARCHITECTURAL REVIEW CHECKLIST

The following identifies required information to be placed on Architectural Review Plans. It also refers to key areas of the Ridgeland Zoning Ordinance, but does not serve as a substitute for the regulations contained within that document.

GENERAL PROJECT INFORMATION:

- Show proposed name of project.
- Provide the name, mailing address, email address, and phone number of the owner and/or developer and designer of the site plan.
- Include a vicinity map showing location of proposed project.
- Include a site plan with recorded plat/survey (1"=20" Min.) including proposed structure with setbacks, surveyor's stamp, easements, street names, significant trees (10" diameter or more), adjacent buildings, lighting, drainage, lot coverage, all utility lines, septic fields, wells, environmental protection areas (DNR, Army Core of Engineers, OCRM, etc.) Required green space.
- Name of Architect, Surveyor, and Engineer.
- Proposed Demolition
- Photographs of existing site and adjacent properties.
- Building Floor Plans and Roof Plans with service yards and mechanical equipment size and location (1/4th Scale)
- Building Elevations with labeled materials, vertical dimensions, section, wall section and detail tags, etc. (1/4th Scale)
- Building Section with labeled materials, vertical dimensions, section and detail tags, etc. (1/4th Scale)
- Details
 - Eaves Details
 - Railing Details
 - Column Details
 - Window Types, manufacture/specifications
 - Window and Door Head/Jambs/Sill Details
 - Porch Sections and Details
 - Hogboard Details
 - Exterior Moldings
 - Fence Details
 - HVAC Screen Walls
 - Ancillary Building Details
- Materials, colors, specifications, samples, and fixture cut sheets.

Incomplete Submissions will not be reviewed. Applicant is responsible for providing the correct number of copies and digital file.



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The following architectural standards shall apply to all structures in the following transect zones: T2.5, T3, T4, T5, and SD-Exit 21.

Code Section	Regulation	Official Use
5.13.2 Walls—Materials.		
5.13.2.A	Walls shall be finished in wood clapboard (sealed with paint or stain), board and batten, cedar shingles, "hardie plank," stucco, or brick. Walls may be finished in brick as approved by the CRC. Walls for single family residential units may be finished in vinyl siding on a case by case basis as approved by the CRC.	
5.13.2.B	Foundation walls, and piers shall be parged block, smooth finished poured concrete, tabby, stucco or brick.	
5.13.2.C	Crawl space may be skirted with horizontal wood boards, or framed wood with not more than 1.5" spaces between boards or wood louvers. Lattice shall be installed between supports as approved by the CRC. Galvanized hardware cloth may be placed behind the lattice.	
5.13.2.D	Garden walls shall be stucco or brick. Gates in garden walls shall be wood or iron. Garden walls shall not be perforated with precast elements, but may accommodate pierced brick	
5.13.2.E	Fences at frontages and in front yards shall be made of smooth cedar, or p.t. wood pickets; spacing between pickets shall not exceed 1.5". All other fences shall be made of wood boards with a rectangular section. Wood fences may have stucco, brick, or tabby piers. Wire fences are permitted as long as the posts are made of wood and the fence is planted with a growing vine i.e. jasmine, etc. Cyclone fences are not permitted	
5.13.2.F	Retaining walls shall be built of stucco, brick, or tabby	
5.13.3 Walls—Configurations and Techniques.		
5.13.3.A	Walls may be built of no more than two materials and shall only change material along a horizontal line, i.e. cedar shingles may be combined with wood siding when the material change occurs horizontally, (typical at floor line or a gable end), with the heavier material below the lighter. All the walls of a single building must be built of the same materials in the same configuration. Wood clapboard and shingles shall be horizontal.	
5.13.3.B	Siding shall be horizontal, maximum 6" to the weather.	
5.13.3.C	Boards with more than 6" to the weather shall show a 1" variation from one board to the next. Shingles shall be maximum 8" to the weather. Decorative shingles shall not be permitted.	
5.13.3.D	Stucco shall be smooth sand- or tabby-finished.	
5.13.3.E	Trim shall be minimum grade "B" trim lumber; and shall be 3.5" to 6" in width at corners and around opening, except at the front door, which may be any size (3.5" minimum) or configuration.	
5.13.3.F	Garden walls shall be minimum 8" thick and have a horizontal cap. Brick mortar joints shall be struck and no more than 3/8" wide.	
5.13.3.G	Fences on adjacent lots shall have different designs. Fences in front yards shall be as indicated in the code. Wood fences shall be painted white or Charleston green unless otherwise approved by the CRC.	
5.13.3.H	Walls shall be one color.	
5.13.3.I	Colors: Colors for all materials shall be selected from a master list approved by the CRC. Rough siding shall be a dark color. Masonry, smooth siding, and trim shall be a light color, which may or may not be the same as the wall color.	
5.13.3.J	Paints and stains: All exterior smooth wood shall be painted. Wood shingles may be left to age naturally, or shall be stained.	
5.13.4 Elements—Materials.		
5.13.4.A	Chimneys shall be finished with stucco or brick. Flues for pot belly stoves shall be metal with an appropriate lintel or jack arch.	
5.13.4.B	Piers and arches shall be made of stucco, brick, or tabby.	



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5.13.4.C	Porches, columns, posts, spindles, and balusters shall be made of wood. Porches may be enclosed with glass or screens for a maximum of 30% of their length; however glass enclosures are not permitted at frontages. Porch ceilings may be enclosed with painted wood; exposed joists shall be painted.	
5.13.4.D	Arcades in Zone T4 or T5 shall be metal or stucco, with wood or metal posts, railings, and balconies.	
5.13.4.F	Stoops shall be made of wood, brick, or concrete. If concrete, a stoop shall have brick or stucco cheek walls.	
5.13.4.G	Decks shall be located in rear yards only, elevated a maximum of 30' above grade and painted or stained (except walking surfaces which may be unpainted).	
5.13.4.H	Awnings shall have a metal structure covered with canvas or synthetic canvas.	
5.13.4.I	Metal elements shall be unpainted galvanized steel, anodized or ESP aluminum, or marine grade aluminum	
5.13.4.J	Patios and stoops may have horizontal surfaces made of brick, or tabby.	
5.13.4.K	The following shall not be permitted: Panelized materials, keystones, quoins, window air conditioning units, above-ground pools (except those of the inflatable variety), antennas, solar panels, signs (on private property), direct vent fireplaces.	
5.13.5 Elements—Configurations and Techniques.		
5.13.5.A	Chimneys shall be a minimum 2:1 proportion in plan and capped to conceal spark arresters. Fireplace enclosures and chimneys shall extend to the ground.	
5.13.5.B	Porch piers of masonry construction shall be no less than 12' x 12".	
5.13.5.C	Arches of masonry construction shall be no less than 12" in depth.	
5.13.5.D	Arcades and breezeways shall have vertically proportioned openings.	
5.13.5.E	Screen porches shall have screens framed in wood installed behind framed railings.	
5.13.5.F	Columns (the classical orders), if provided, shall be of the Tuscan or Doric orders with correct proportions or profiles according the American Vignola.	
5.13.5.G	Posts shall be no less than 6" x 6", except at outbuildings. Railings shall have horizontal top and bottom rails. Wood top rails shall be eased and bottom rails shall have a vertical section. Top and bottom rails shall be centered on the pickets. The opening between spindles and balusters shall not exceed 4".	
5.13.5.H	Balconies which cantilever shall be structurally supported by brackets.	
5.13.5.I	Signs attached to buildings shall be integral to the storefront, no larger than 18" in height and externally lit.	
5.13.5.J	Awnings shall be rectangular in shape with straight edges. Awnings may have side panels but shall not have a bottom soffit panel. Awnings shall not be backlit.	
5.13.5.K	Spotlights attached to building walls or roof eaves are only permitted in rear yards and illuminating cone shall not emit excess or direct light beyond property line.	
5.13.5.L	Wood elements must be painted or stained with an opaque or semi-solid stain, except walking surfaces which may be left natural.	
5.13.6 Roofs—Materials		
5.13.6.A	Roofs shall be clad in wood shingles, (corrugated, 5 V crimp or standing seam) galvanized steel, galvalume or copper. Asphaltic or fiberglass shingles shall be architectural grade and shall be submitted for approval.	
5.13.6.B	Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper-coated), anodized or ESP aluminum.	
5.13.6.C	Flashing shall be copper, lead or anodized aluminum.	
5.13.6.D	Copper roofs, flashing, gutters, and downspouts shall be allowed to age naturally (not painted or sealed).	
5.13.6.E	Principal roofs shall be a symmetrical gable or hip with a slope of 6:12 to 10:12.	



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5.13.6.F	Ancillary roofs (attached to walls at the highest portion of the principal building) may be shed sloped no less than 2:12. Roofs on towers shall be flat or have a slope of 4:12 to 8:12.	
5.13.6.G	Flat roofs, including flat roofs on towers, shall be permitted only when occupiable and accessible from an interior room. Flat roofs shall have a railing or parapet wall no less than 36" high.	
5.13.6.H	Parapets shall be horizontal.	
5.13.6.I	Eaves shall be continuous. Eaves which overhang less than 8" shall have a closed soffit. Eaves which overhang more than 16" shall have exposed rafters. Eaves which overhang between 8" and 16" shall have either a closed soffit or exposed rafters. Rafter tails may not exceed 8" in depth.	
5.13.6.J	Gutters shall be half-round. Downspouts shall be round.	
5.13.6.K	Dormers shall be habitable, placed a minimum of 3' from side building walls and have gable or shed roofs with a slope to match the principal structure or shed roofs with a slope 3:12. Dormers shall not be excessively larger than windows, i.e. no siding at either side of windows. Dormer eaves and rake trim should be scaled down from primary eaves and rake trim proportions (66%).	
5.13.6.L	Skylights shall be flat and mounted so as not to be visible from any fronting street.	
5.13.8 Openings—Materials.		
5.13.8.A	Windows shall be made of wood (painted), vinyl or aluminum clad and shall be glazed with clear glass. All trim shall be no less than 3.5". Bay windows shall be made of trim lumber. Corner trim shall be no less than 4".	
5.13.8.B	Doors (including garage doors) shall be wood or metal. Doors shall be painted or stained.	
5.13.8.C	Storefront shall be made of wood, or metal.	
5.13.8.D	Shutters shall be wood, PVC, painted, operable and meet the width of the window when closed.	
5.13.8.E	Security doors and window grilles must be approved.	
5.13.9 Openings—Configurations and Techniques.		
5.13.9.A	Windows rectangular single-, double-, or triple-hung, awning, fixed (under 2 sf), or operable casement types, with a square to vertical proportion. Transoms may be oriented horizontally with panes of vertical proportions. Multiple windows in the same rough opening shall be separated by a 4" minimum post. In masonry walls the centerline of the window sash shall align with the centerline of the wall.	
5.13.9.B	Window muntins shall be true divided light or simulated divided light windows or fixed on the interior and exterior surface and create panels of square or vertical proportion.	
5.13.9.C	Bay windows shall have a minimum of 3 sides and shall extend to the floor inside and to the ground outside, if located on the ground floor or, if not, be structurally supported by brackets.	
5.13.9.D	Storm windows and screens shall be integral with the window. Screens shall be made of brass, bronze, or black vinyl.	
5.13.9.E	Front doors, including the entry door to the porch on side yard houses, shall be located on the frontage line. (Paired doors are not permitted at frontages. Windows in doors must be rectangular and vertically-oriented.)	
5.13.9.F	Doors shall be hinged. Doors, except garage doors, shall be constructed of planks or raised panels not flush with applied trim which express the construction technique.	
5.13.9.G	Garage doors facing a street frontage shall be a maximum of 10' in width. Garage doors facing an alley shall have a light fixture with an incandescent bulb activated by a photocell. Garage doors shall be painted or stained. Storefronts shall be painted a dark gloss color.	
5.13.9.H	Shutters shall be operable, sized and shaped to match the openings.	
5.13.9.I	Stucco trim articulations shall be subject to approval by the CRC.	
5.13.9.J	An accent color, for items such as the front door and shutters, may be used subject to approval from the CRC	